



## AVAILABLE FOR LEASE - FORMER GYM SPACE 7,000-11,000 SQ. FT. 498 BEVERLY-RANCOCAS RD., WILLINGBORO, NEW JERSEY

7,000 – 11,000 sf Plus pad-site available for lease!

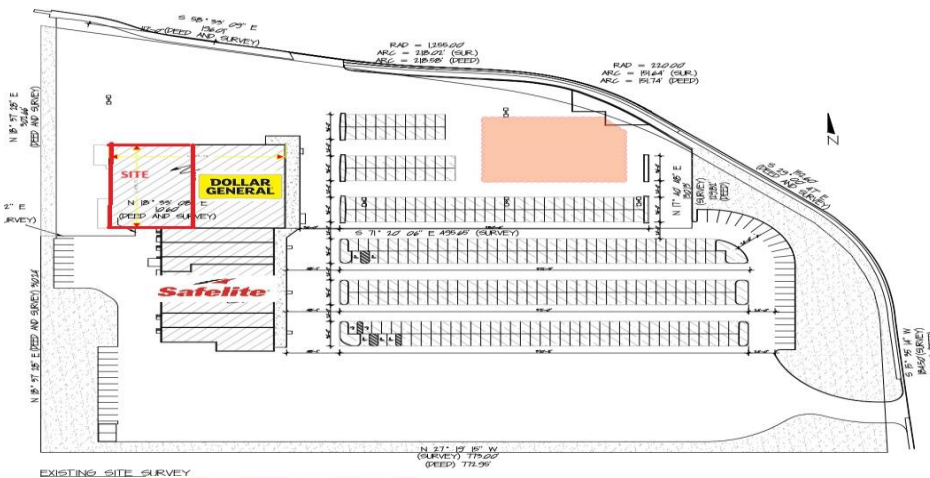


**Store Sizes:**  
7,000 – 11,000 Sq. ft.

**Population:**  
1 Mile: 12,264  
3 Miles: 68,212  
5 Miles: 188,765

**Housing Units (2010):**  
1 Mile: 4,793  
3 Miles: 25,268  
5 Miles: 72,270

**Median Household Income:**  
1 Mile: \$51,452  
3 Miles: \$53,331  
5 Miles: \$51,476



**Join:**

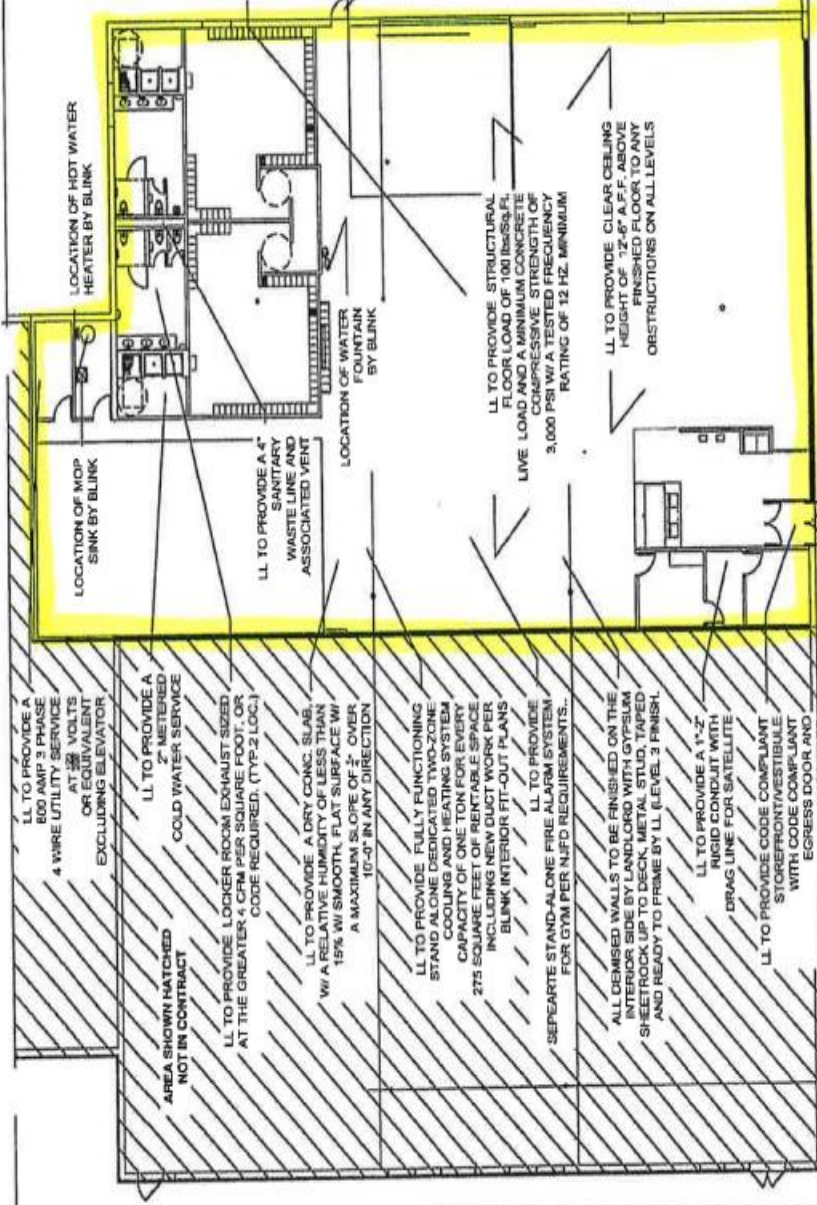
**NOTES:**

- New Signage
- Excellent Co-Tenancy
- Ample Parking
- Divisible
- Highly Accessible
- Dense Population

**Contact:**

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**SIGNAGE AND ELEVATION GENERAL NOTE:**  
 FINAL EXTERIOR ELEVATIONS AND SIGNAGE TO BE REVIEWED AND APPROVED BY BLINK. FINAL EXTERIOR SIGN DESIGN, LOCATIONS AND SHOP DRAWINGS AS PER BLINK APPROVAL. AND CODE REQUIREMENT WILL BE SUBMITTED TO LL FOR FINAL APPROVAL.



LL TO PROVIDE A 800 AMP 3 PHASE WIRE UTILITY SERVICE AT 208 VOLTS OR EQUIVALENT EXCLUDING ELEVATOR

LL TO PROVIDE A 2" METERED COLD WATER SERVICE

LL TO PROVIDE LOCKER ROOM EXHAUST SIZED AT THE GREATER 4 CFM PER SQUARE FOOT OR CODE REQUIRED. (17P-2 LOC)

LL TO PROVIDE A DRY CONC. SLAB W/ A RELATIVE HUMIDITY OF LESS THAN 15% W/ SMOOTH, FLAT SURFACE W/ A MAXIMUM SLOPE OF 1/8" OVER 10'-0" IN ANY DIRECTION

LL TO PROVIDE FULLY FUNCTIONING STAND ALONE DEDICATED WOOD-ZONE COOLING AND HEATING SYSTEM CAPABLE OF ONE TON FOR EVERY 275 SQUARE FEET OF RENTABLE SPACE INCLUDING NEW DUCT WORK PER BLINK INTERIOR FIT-OUT PLANS

LL TO PROVIDE SEPARATE STAND-ALONE FIRE ALARM SYSTEM FOR GYM PER NFPA REQUIREMENTS.

ALL DEMISED WALLS TO BE FINISHED ON THE INTERIOR SIDE BY LANDLORD WITH GYPSUM SHEETROCK UP TO DECK, METAL STUD, TAPED AND READY TO PRIME BY LL (LEVEL 3 FINISH)

LL TO PROVIDE A 1'-2" RIGID CONDUIT WITH DRAG LINE FOR SATELLITE

LL TO PROVIDE CODE COMPLIANT STOREFRONT/VESTIBULE WITH CODE COMPLIANT EGRESS DOOR AND PARTITION

LL TO PROVIDE A SPRINKLER SYSTEM - ALL CODE REQUIRE ASSEMBLIES INCLUDING RISER, BRANCH PIPING AND HEADS. ALL SPRINKLER HEADS WILL BE POINTED UPWARD FOR AN OPEN CEILING.

LL TO PROVIDE STRUCTURAL FLOOR LOAD OF 100 lbs/sq.ft. LIVE LOAD AND A MINIMUM CONCRETE COMPRESSIVE STRENGTH OF 3,000 PSI W/ A TESTED FREQUENCY RATING OF 12 HZ. MINIMUM

LL TO PROVIDE CLEAR CEILING HEIGHTS OF 8'-0" ABOVE FINISHED FLOOR TO ANY OBSTRUCTIONS ON ALL LEVELS

**EGRESS EXIT**

LL TO PROVIDE EGRESS DOOR AND HARDWARE PER CODE REQ.

ALL LOCATIONS FOR EXHAUST, GAS FLUES, GAS LINES, WATER LINES, ELECTRIC SERVICE & CONDUIT FOR DRAG LINES SHOWN ON THIS PLAN TO BE COORDINATED W/ TENANT'S FINAL DRAWINGS FOR EXACT LOC. PRIOR TO INSTALLATION BY LANDLORD

LEASE EXHIBITS ARE BASED ON SCHEMATIC PLANS AND ELEVATIONS PROVIDED BY LANDLORD. FINAL DESIGN LAYOUT ARE SUBJECT TO FINAL CONSTRUCTION DOCUMENT FROM LANDLORD.

**CEILING HEIGHTS:**

BOT. OF SLAB	X'-X"
BOT. OF DECK	X'-X"
BOT. OF BEAM	X'-X"



LEGEND:

———— DENOTES LEASE LINE

----- PROPOSED PARTITION

===== EXISTING PARTITION TO REMAIN

----- EXISTING PARTITION TO BE REMOVED

⌞ PROPOSED DOOR

⌞ EXISTING DOOR TO REMAIN

**498 Beverly-Rancoca**  
**Willingboro, NJ**

PLAN

GROUND FLOOR (10,850 S.F.)

1

**TOTAL blink LEASE AREA: 10,850 S.F.**